



# **MONTARA WATER** **AND SANITARY DISTRICT**

*Serving Montara and Moss Beach*

Post Office Box 370131  
8888 Cabrillo Highway  
Montara, CA 94037-0131

Tel: (650) 728-3545  
Fax: (650) 728-8556  
mwsd@coastside.net

## **PROCEDURES FOR OBTAINING A REMODELING PERMIT**

### **When is a Remodeling Permit Required?**

It is required whenever you are remodeling your house or other structure and the remodeling involves the addition or change in plumbing fixtures (called "fixture units"). In some cases no change in the number of fixture units is proposed but the remodeling is extensive enough that the District must count the fixture units to verify that no increase is involved.

### **Procedure to Obtain a Remodeling Permit:**

- Complete the application form attached and fax, mail or bring it to the District office with a check made out to Montara Water and Sanitary District for **\$294**. This fee is used to offset the cost of two inspections and processing your application. **If there is no increase in fixture units, you will not have to pay the remodel fee of \$294.**
- Bring to the District office **four (4) sets of plans** of the remodeling project. The District does not require all plan drawings, only those that clearly show the full extent of the remodeling and its impact on the plumbing system. (Note: if the total dollar value of your remodeling is 50% or greater of the total value of the structure you must provide a videotape of your sewer lateral. If there are cracks, no cleanout, no check valve (if required) or evidence of potential inflow or infiltration into sewer system, you will be required to remedy those deficiencies as part of your remodeling).
- The District **inspection** will determine the number of fixture units currently in the structure and charge you for the number of additional fixture units being added by the remodeling. The inspector will contact you to set up a convenient inspection time.
- Once the **connection fees for additional fixture units** are paid (each fixture unit added costs **\$519**) and all required material submitted, the District will stamp the four (4) sets of plans indicating the number of fixture units approved and return three (3) sets to you. Give the County Building Department the three (3) stamped sets of plans. They will not process your plans without the District stamp.
- Once the remodeling is completed, notify the District to do a **fixture unit count** to verify that the approved number of fixture units have been installed. If work was required on the sewer lateral, the District will inspect the lateral from the property line to the District sewer main. The County Building Department will not issue a Certificate of Occupancy without the final District inspection.

If you have any questions please call the District office at (650) 728-3545.

FIXTURE	Number of Fixture Units
Bathtub (with or without shower over)*	2
Bidet	2
Dishwasher	2
Laundry tub or clothes washer (each pair of faucets)	3
Shower	2
Sink - Bathroom	1
Sink - Bar	1
Sink - Kitchen	2
Sink - Kitchen with disposal	3
Spa or hot tub (if drains into sewer)	2
Toilet (water closet, flush tank)	3

NOTE: This table refers to fixture units for single-family residential construction and is not intended for commercial or public projects. It is based on 2008 Uniform Plumbing code, Table 7-3 and MWSD Ordinance No. 66. \* If bathtub and shower are separate, each is counted separately.

### What is a fixture unit?

A fixture unit is a measurement used by the Uniform Plumbing Code to describe the relative potential water use of various plumbing fixtures. This measurement is used to assess the potential of various such fixtures to produce water or waste that goes down the drain and is eventually treated by the sewage treatment plant located in Half Moon Bay. Fixture units that are not connected to the sewer system such as outside faucets used for landscaping are not counted.

### Why am I being charged for fixture units?

This District, along with Granada Sanitary District and the City of Half Moon Bay, must pay for its share of the sewage treatment plant expansion. The District's share of the plant expansion is about \$ 5 million and makes it possible for property owners to remodel or build new homes. During the past ten years no one could do so because of the lack of additional sewage capacity. The District, by charging for fixture units, will pay for its share of this plant expansion. If the plant had not been expanded, no remodeling which added fixture units would be permitted.

The other two agencies have assessment district which charge all property owners for a share of the sewage treatment plant expansion whether they ever use it or not. By contrast, the District's assessment district was challenged in court and held invalid. The only other means of paying for the District's capacity is a pay-as-you-go system in which property owners pay for the additional sewer

connections and fixture units as they build. The District had to participate in the sewer plant expansion because the State Water Quality Control Board issued a Cease and Desist Order against it. The Board required the expansion because the plant could not handle existing sewage flows during wet weather (November through April), and occasionally released sewage into the Pacific Ocean that could not be fully treated.

### **I use very little water, so these fixture-unit charges seem unfair**

Fixture units are a representation of what the property could potentially use and not the actual water use. In other words, a small home with twelve fixture units would and generally does use less water than a large home with 35 fixture units. The capital costs to initially build and expand the sewage treatment plant are paid for by connection charges based on fixture units. The use of fixture units measures the potential future use of the home and not the actual use at any one time.

This is different from the District's annual Sewer Service Charge that is based on the actual water use of each home. Sewer Service Charges pays for the on-going operations, maintenance and repairs of the existing sewer system (pipes, pump stations and operating the sewer plant), and not the initial construction costs.

### **What if I decide not to get a building permit and do the work without a permit?**

Recent real estate law and court cases make full disclosure by the realtor and homeowner a requirement as part of buying or selling a house. An informed buyer will want proof that all additions and other remodeling was done legally by building permit. If you fail to make full disclosure, you and your realtor may be liable for civil damages for any injuries or loss of property that occurred because the remodeling was not done in accordance with applicable laws and ordinances. In addition, if you have a fire or other insurable loss to your structure, the insurance company may refuse to pay for any or a portion of your loss that was done without proper permits or that was caused by improper construction practices.



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## **REMODELING PERMIT APPLICATION**

### **LOCATION AND OWNER**

LOCATION: Street Address: \_\_\_\_\_

APN Number: \_\_\_\_\_

OWNER: Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

\_\_\_\_\_

Phone Numbers: Home \_\_\_\_\_ Work: \_\_\_\_\_

OWNER'S AGENT: Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

\_\_\_\_\_

### **STATISTICAL DATA**

#### **EXISTING STRUCTURE:**

Number of Bathrooms \_\_\_\_\_ Number of Bedrooms \_\_\_\_\_

Numbers of: Dishwashers \_\_\_\_; Clothes Washers \_\_\_\_; Garbage Disposals \_\_\_\_

Any additional fixtures (spa, utility sink, etc.): \_\_\_\_\_

**PROPOSED ALTERATIONS**

After remodeling, what will be the total for the following?:

Number of Bathrooms: \_\_\_\_\_ Number of Bedrooms: \_\_\_\_\_

No. of Dishwashers \_\_\_\_\_ No. of Clothes Washers \_\_\_\_\_ No. of Garbage

Disposals \_\_\_\_\_ Other: \_\_\_\_\_

**FEES AND PLANS REQUIRED AT TIME OF APPLICATION**

1. Current Application, Inspection and Permit Fee of \$ \_\_\_\_\_
2. Four (4) sets of plans showing floor plan and plumbing fixtures (three will be stamped and returned, one retained).
3. Other: \_\_\_\_\_

**AGREEMENT**

The undersigned agrees:

- That this application is made pursuant to the Montara Sanitary District Code, as amended, and applicant agrees to accept and abide by all provisions of all pertinent District and San Mateo County Ordinances;
- The Applicant is responsible for notifying the District when the alteration is complete and ready for inspection.
- That permit applications and sewer connection permits are not transferable;
- That all other necessary permits be obtained and that alterations be completed within **one year** of the date of this application.

Date: \_\_\_\_\_ Signed: \_\_\_\_\_

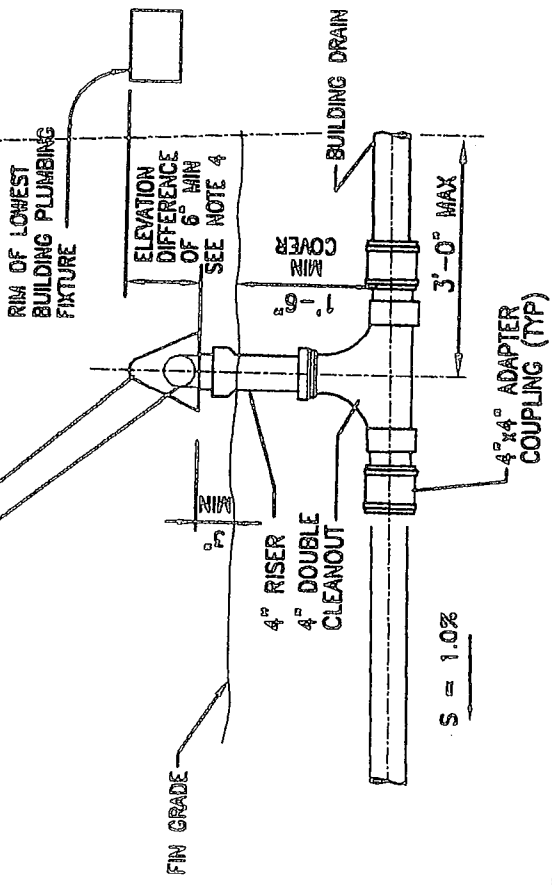
(Applicant)

**FOR DISTRICT USE ONLY**

TYPE A (KELLY) BACKWATER PREVENTION DEVICE SHALL BE AS MANUFACTURED BY GENPLEX, WALNUT CREEK, CA, OR APPROVED EQUAL BALL TO ELIMINATE EMISSION OF ODORS AND ACCESS OF RODENTS

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PRECAST CONCRETE METER BOX FLUSH FIT TO PAVING W/ GALVANIZED STEEL CHECKER PLATE TRAFFIC LIDS MARKED "SEWER", CHRISTY 89 W/ 61D15 LID, OR EQUAL, AS DIRECTED BY THE DISTRICT.

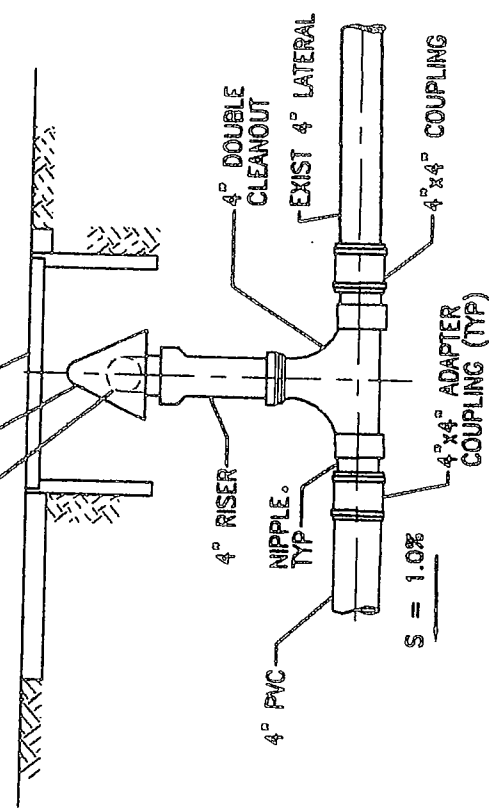


**BACKWATER PREVENTION DEVICE ABOVE GRADE INSTALLATION**

**NOTES**

1. A BACKWATER PREVENTION DEVICE IS REQUIRED AND SHALL BE INSTALLED ON ALL SIDE SEWERS.
2. A "TYPE A" BACKWATER PREVENTION DEVICE SHALL BE INSTALLED IN A LOCATION WHERE SEWAGE CAN OVERFLOW ON THE SURROUNDING AREA WITHOUT DAMAGE TO PROPERTY.
3. BACKWATER PREVENTION DEVICES LOCATED UNDER PAVED DRIVEWAYS, WALKWAYS, ETC. SHALL BE INSTALLED IN A PRECAST CONCRETE METER BOX AS SHOWN.
4. IF THE DIFFERENCE IN ELEVATION OF THE LOWEST FIXTURE RIM AND THE "TYPE A" BACKWATER PREVENTION DEVICE IS LESS THAN SIX (6) INCHES, A BACKWATER CHECK VALVE SHALL BE INSTALLED AS SHOWN IN STANDARD DETAIL SD 7.

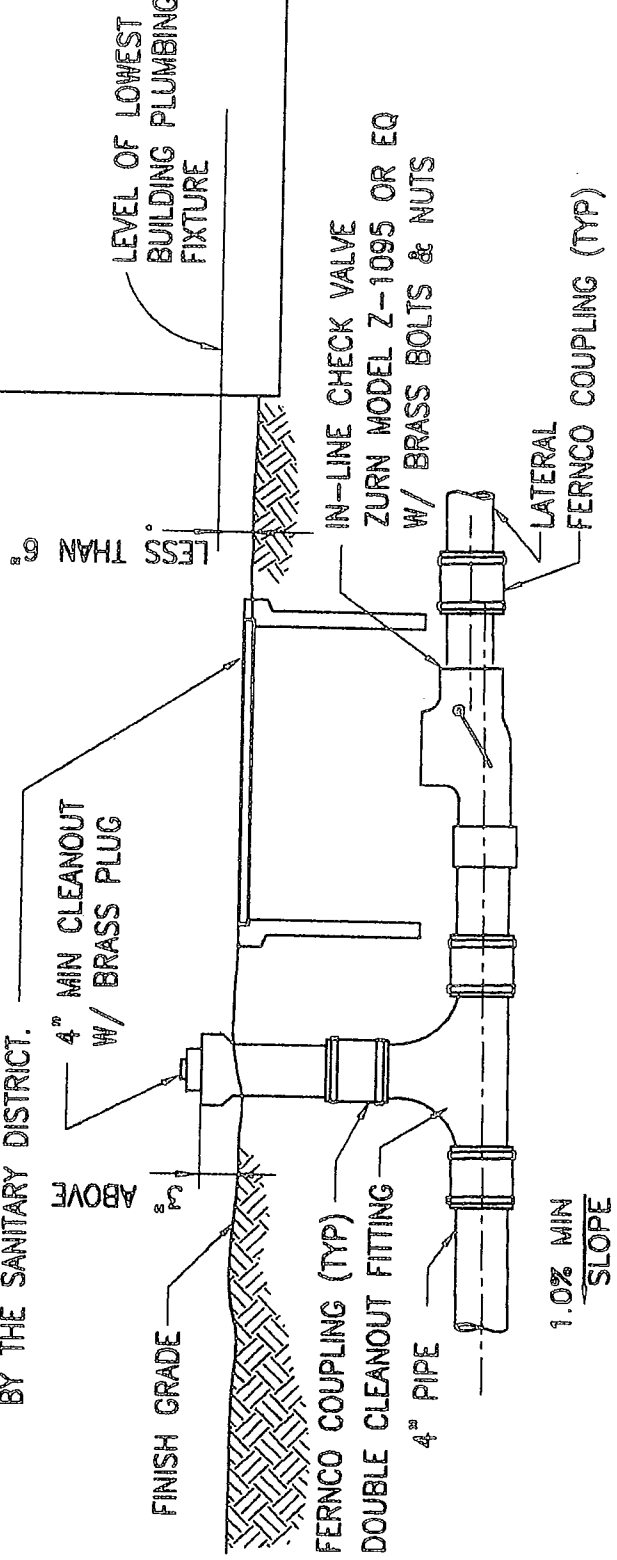
**BACKWATER PREVENTION DEVICE BELOW GRADE INSTALLATION**



<b>MONTARA SANITARY DISTRICT</b> San Mateo County, California	
<b>TYPE A BACKWATER PREVENTION DEVICE</b>	
SD	6

WHERE A MINIMUM OF 6" ELEVATION IS NOT AVAILABLE BETWEEN THE RIM OF THE LOWEST PLUMBING FIXTURE AND RIM OF THE TYPE A BACKWATER DEVICE, AN IN-LINE CHECK VALVE MUST BE INSTALLED.

VALVES SHALL BE INSTALLED IN PRECAST CONCRETE VALVE BOXES FLUSH FITTED W/ GALVANIZED STEEL CHECKERED PLATE TRAFFIC LIDS MARKED "SEWER", CHRISTY B9 W/ 61D LID, OR EQUAL, AS DIRECTED BY THE SANITARY DISTRICT.



<b>MONTARA SANITARY DISTRICT</b> San Mateo County, California	
<b>BACKWATER PREVENTION IN-LINE CHECK VALVE</b>	
	SD 7

# ORDINANCE 158

## ORDINANCE OF THE MONTARA WATER AND SANITARY DISTRICT RESTATING AND AMENDING MASTER FEE SCHEDULE

Sewer Connection Permit (MWSD Code §3-9.500)	\$20,739.00
Fixture Unit Charge (MWSD Code §3-9.500)	\$830.00
Sewer Connection Permit for Conversion from Septic System to Sewerage System (MWSD Code §§3-4.800, 3-9.500)	\$13,176.00
Fixture Unit Charge—Conversion from Septic System to Sewerage System (MWSD Code §§3-4.800, 3-9.500)	\$527.00
Sewer Connection Permit for Second Dwelling Units—Fixture Unit Charge (MWSD Code §3-10.200)	\$527.00
Connection Permit Administrative Fee (MWSD Code §3-9.600,)	Actual Cost (\$419.00 minimum)
Connection Permit Inspection Fee (MWSD Code §3-9.600,)	Actual Cost (\$396.00 minimum)
Remodel Permit Fee (MWSD Code §3-9.500)	Actual Cost (\$294.00 minimum)
Private Sewer System Permit (MWSD Code §3-4.200,)	Actual Cost (\$135.00 minimum)
Private Sewer System Deposit for Hydrologic Investigation (MWSD Code §3-4.1200 (c))	Actual Cost (\$2,348.00 minimum)
Connection Permit Administrative Fee - Subdivisions & Commercial Units (MWSD Code §3-9.600,)	Actual Cost (\$419.00 minimum)
Connection Permit Inspection Fee - Subdivisions & Commercial Units (MWSD Code §3-9.600,)	Actual Cost (\$396.00 minimum)